

Mamma Lucia

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INTERIOR ALTERATION



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I am not responsible for design or construction of any structure or equipment which may be installed in accordance with the provisions of this permit. My responsibility is limited to the design and construction of the mechanical systems shown on the drawings.

REVISED: 04/27/2010
DATE: 04/27/2010

ISSUE

REV. NO. DESCRIPTION DATE

COVER SHEET

Project Number: _____ Date: _____
Project Number: _____ Date: _____
Drawn by: _____
Checked by: _____

C-000

PROJECT TEAM

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PROJECT SUMMARY:
EXISTING STRUCTURE: YES
HISTORIC: YES
DEMOLITION: NO
ADDITION: NO
SPRINKLERED: NO
GROSS AREA: 1060 SF (INTERIOR RENOVATIONS ONLY)

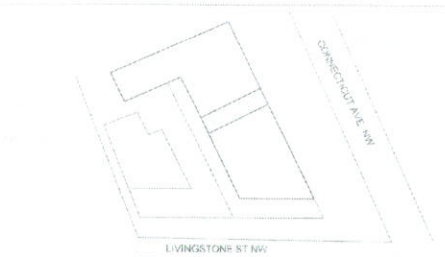
BUILDING AND TENANT INFORMATION

| ITEM | EXISTING SPACE | PROPOSED ALTERATION |
|--------------------------------|----------------|--|
| JURISDICTION | WASHINGTON DC | |
| CODE | NA | 2012 INTERNATIONAL BUILDING CODE 2013 DC CONSTRUCTION CODE SUPPLEMENT (DCMR 12A) 2013 DC EXISTING BUILDING CODE (DCMR 15-J) (PRESCRIPTIVE COMPLIANCE METHOD) 2013 DC GREEN CONSTRUCTION CODE (DCMR 12-K) 2011 INTERNATIONAL ELECTRICAL CODE 2013 DC ELECTRICAL CODE (DCMR 12-C) 2013 DC ENERGY CONSERVATION CODE (DCMR 12-J) 2012 INTERNATIONAL MECHANICAL CODE 2013 DC MECHANICAL CODE (DCMR 15-B) 2013 INTERNATIONAL PLUMBING CODE 2013 DC PLUMBING CODE (DCMR 15-F) 2012 INTERNATIONAL FIRE CODE 2013 DC FIRE CODE (DCMR 12-H) 2013 DC CONSTRUCTION CODE (CHAPTER 11 OF CODE 12-A) 2013 ADA 11.1 - ACCESSIBLE AND USABLE BLDG & FACILITIES |
| OCCUPANCY CLASSIFICATION (IBC) | A2 | A2 |
| TYPE OF CONSTRUCTION | SB | SB |
| HIGH RISE | NO | NO |
| COVERED MALL | NO | NO |
| NUMBER OF STORIES | | 1 |
| FULLY SPRINKLERED & MONITORED | NO | NO |
| FIRE ALARM SYSTEM | NO | YES |
| FLOOR AREA OF RENOVATION | | 885 SF |

VICINITY MAP:



KEY PLAN



SCOPE OF WORK

EXISTING FOOD SERVICE FACILITY TO BE RENOVATED TO A NEW FOOD SERVICE FACILITY ALL INTERIOR RENOVATION AND NON STRUCTURAL

DRAWING INDEX

| | |
|-------|---|
| C-000 | COVER SHEET |
| C-001 | CODE ANALYSIS & EGRESS PLAN |
| C-002 | GENERAL NOTES |
| C-003 | ABBREVIATIONS, SYMBOLS & ACCESSIBILITY |
| A-101 | EXISTING / DEMOLITION PLAN |
| A-102 | CONSTRUCTION PLAN, WALL, TYPE & DOOR SCHEDULE |
| A-103 | EQUIPMENT PLAN |
| A-104 | REFLECTED CEILING PLAN & SECTIONS |
| A-105 | FINISHING PLAN AND SCHEDULE |
| A-106 | BATHROOM LAYOUT - STEEL PLATFORM |
| M000 | SYMBOLS, NOTES AND SCHEDULES |
| M100 | 1ST FLOOR PLAN, SCHEDULE AND DETAIL |
| P000 | SYMBOLS, NOTES AND SCHEDULES |
| P100 | 1ST FLOOR PLAN, SCHEDULE AND DETAIL |
| R000 | SYMBOLS, NOTES AND SCHEDULES |
| E100 | FLOOR PLANS, ANDRIGER DIAGRAM |
| H001 | HOOD DETAILS AND SPECS |
| H002 | HOOD DETAILS AND SPECS |
| H003 | HOOD DETAILS AND SPECS |

Board of Zoning Adjustment
District of Columbia
CASE NO.20410
EXHIBIT NO.8A1

PERMIT 287

GENERAL NOTES

- 1- CONTRACTOR SHALL FIELD CHECK ALL DIMENSIONS AND CONDITIONS BEFORE SUBMITTING SHOP DRAWINGS, AND BEFORE COMMENCING WORK.
- 2- EXTEND ALL NEW INTERIOR FIRE RATED WALLS AND ALL NEW FRAMING TO DECK ABOVE, UNLESS OTHERWISE NOTED.
- 3- EXTEND ALL NEW INSULATION TO THE FACE OF THE EXTERIOR WALL/ROOF. EXTEND ALL FINISHES IN INSULATED AREAS TIGHT TO DECK SURFACE, TO HOLD INSULATION IN PLACE, UNLESS OTHERWISE NOTED.
- 4- EXTEND ALL FINISHES IN NON-INSULATED AREAS AND ALL INTERIOR WALLS (NOT FIRE RATED) TO A MINIMUM OF 6" ABOVE THE LINE OF THE FINISH CEILING, UNLESS OTHERWISE NOTED.
- 5- DISTURB AS SMALL AN AREA OF THE SITE AS POSSIBLE DURING CONSTRUCTION OPERATIONS.
- 6- FIRE STOP ALL FRAMED PARTITIONS AS REQUIRED BY CODE.
- 7- REPAIR ALL AREAS DISTURBED BY THE WORK OF THIS PROJECT.
- 8- GENERAL CONTRACTOR SHALL PROVIDE PROPER LICENSES FOR Washington DC, CONSTRUCTION BOND AS REQUIRED AND LIST OF ALL SUBCONTRACTORS TO BE PROVIDED WITH BIDS.
- 9- ALL CONTRACTORS ARE REQUIRED TO VISIT THE SITE AND INSPECT THE EXISTING CONDITIONS PRIOR TO SUBMITTING PROPOSALS.
- 10- PLANS SHALL NOT BE SCALED FOR CONSTRUCTION PURPOSES. DIMENSION LINES AND NOTES SUPERSEDE.
- 11- DIMENSIONS NOTED "VERIFY" SHALL BE VERIFIED IN FIELD. NOTIFY THE ARCHITECT OF ANY CONFLICTS BEFORE PROCEEDING.
- 12- IT IS THE SOLE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO ENSURE THAT ALL CONSTRUCTION COMPLIES WITH CURRENT LOCAL CODES AND ACCEPTED CONSTRUCTION PRACTICES.
- 13- GENERAL CONTRACTOR SHALL PROVIDE OWNER AND ARCHITECT WITH SAMPLES, SHOP DRAWINGS OR BROCHURES OF ALL LISTED ITEMS PRIOR TO ORDERING/INSTALLATION.
- 14- VERIFY DIMENSIONS, GRADES, BOUNDARIES AND EXISTING SITE CONDITIONS BEFORE PROCEEDING WITH CONSTRUCTION. IMMEDIATELY REPORT ANY DISCREPANCIES TO ARCHITECT.
- 15- DIMENSION INDICATED ON PLANS ARE TO FACE OF STUDS, TO CONCRETE WALLS AND/OR TO CMU WALLS. SHAFT WALL DIMENSIONS ARE FINISH DIMENSIONS.
- 16- TYPICAL DRAWINGS, DIMENSIONS, NOTES, FINISHES AND FIXTURES INDICATED ON TYPICAL PLANS, SECTIONS OR DETAILS SHALL APPLY TO SIMILAR, SYMMETRICAL OR OPPOSITE PLANS, SECTIONS OR DETAILS.
- 17- MATERIALS AND WORK, COMPLY WITH APPLICABLE CODES AND REGULATIONS. VERIFY THAT SUBSTITUTIONS COMPLY WITH APPLICABLE CODES AND REGULATIONS.
- 18- GUARD AND RAIL HEIGHTS AND CONSTRUCTION, COMPLY WITH APPLICABLE CODES AND REGULATIONS.
- 19- INTERIOR FINISHES. SEE SPECIFICATIONS CERAMIC TILE. INSTALL IN ACCORDANCE WITH TILE COUNCIL APPROVED METHOD USING THINNEST LATEX PORTLAND CEMENT, UNLESS OTHERWISE INDICATED. INSTALL USING MORTAR METHOD WHERE INDICATED, SCHEDULED, OR SPECIFIED.
- 20- EXTERIOR PAINTING; METAL FLASHING; COLOR TO MATCH ADJACENT SURFACE. EXPOSED FERROUS METAL (INCLUDING LINTELS); MATCH ADJACENT BRICK, PRECAST CONCRETE, OR ROOF AS APPLICABLE.
- 21- TELEPHONE AND ELECTRICAL ROOMS: PROVIDE 1/2 INCH FIRE RETARDANT-TREATED PLYWOOD BOARDS.
- 22- PROVIDE FIRESTOPPING AND DRAFTSTOPPING AS INDICATED ON DRAWINGS, SPECIFIED, AND AS REQUIRED BY APPLICABLE CODES AND REGULATIONS.
- 23- ALL WALLS IN WET ROOMS SHALL BE CONSTRUCTED OF MOISTURE RESISTANT DRYWALL TO AT LEAST 48" A.F.F., WITH BOTTOM CAULKING TO PREVENT MOISTURE INFILTRATION INTO BASE BUILDING ELEMENTS.

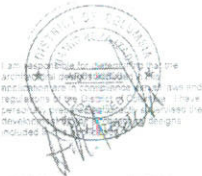
- 24- MECHANICAL FASTENING TO STOREFRONT, WINDOW SYSTEMS IS NOT PERMITTED.
- 25- GENERAL CONTRACTOR TO USE LANDLORD BASE BUILDING ROOFER FOR ALL MODIFICATIONS TO THAT SYSTEM SO AS TO MAINTAIN WARRANTY.



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SCALE: AS SHOWN
DATE: 11/11/11

| REV. NO. | DESCRIPTION | DATE |
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GENERAL NOTES

| Project Number | Project Name |
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C-002

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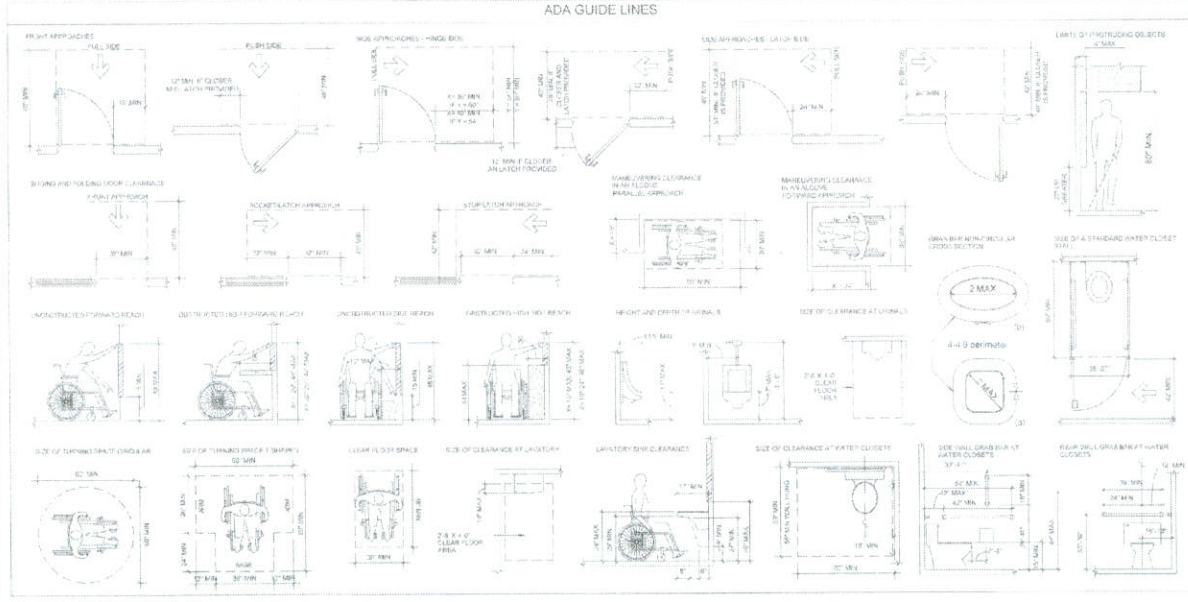
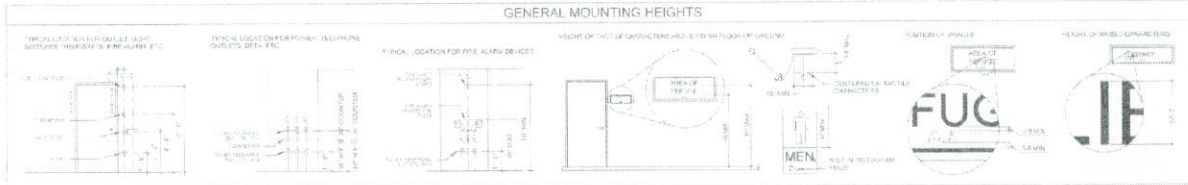
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4. 11/11/11
5. 11/11/11

ABBREVIATIONS

| Symbol | Description | Symbol | Description | Symbol | Description | Symbol | Description |
|--------|------------------------|--------|------------------------|--------|------------------------|--------|------------------------|
| A | Architect's Note | 3 | Architect | 4 | Architectural | 5 | Architectural |
| S | Structural | 6 | Structural | 7 | Structural | 8 | Structural |
| ME | Mechanical | 9 | Mechanical | 10 | Mechanical | 11 | Mechanical |
| EL | Electrical | 12 | Electrical | 13 | Electrical | 14 | Electrical |
| PL | Plumbing | 15 | Plumbing | 16 | Plumbing | 17 | Plumbing |
| CE | Civil Engineering | 18 | Civil Engineering | 19 | Civil Engineering | 20 | Civil Engineering |
| EN | Environmental | 21 | Environmental | 22 | Environmental | 23 | Environmental |
| GE | Geotechnical | 24 | Geotechnical | 25 | Geotechnical | 26 | Geotechnical |
| HA | Historic Architecture | 27 | Historic Architecture | 28 | Historic Architecture | 29 | Historic Architecture |
| IE | Interior | 30 | Interior | 31 | Interior | 32 | Interior |
| LA | Landscaping | 33 | Landscaping | 34 | Landscaping | 35 | Landscaping |
| LE | Lighting | 36 | Lighting | 37 | Lighting | 38 | Lighting |
| LI | Landscape Architecture | 39 | Landscape Architecture | 40 | Landscape Architecture | 41 | Landscape Architecture |
| LP | Interior | 42 | Interior | 43 | Interior | 44 | Interior |
| PA | Plumbing | 45 | Plumbing | 46 | Plumbing | 47 | Plumbing |
| PE | Professional Engineer | 48 | Professional Engineer | 49 | Professional Engineer | 50 | Professional Engineer |
| PL | Professional Engineer | 51 | Professional Engineer | 52 | Professional Engineer | 53 | Professional Engineer |
| PR | Professional Engineer | 54 | Professional Engineer | 55 | Professional Engineer | 56 | Professional Engineer |
| PT | Professional Engineer | 57 | Professional Engineer | 58 | Professional Engineer | 59 | Professional Engineer |
| RE | Professional Engineer | 60 | Professional Engineer | 61 | Professional Engineer | 62 | Professional Engineer |
| RI | Professional Engineer | 63 | Professional Engineer | 64 | Professional Engineer | 65 | Professional Engineer |
| RO | Professional Engineer | 66 | Professional Engineer | 67 | Professional Engineer | 68 | Professional Engineer |
| RS | Professional Engineer | 69 | Professional Engineer | 70 | Professional Engineer | 71 | Professional Engineer |
| RT | Professional Engineer | 72 | Professional Engineer | 73 | Professional Engineer | 74 | Professional Engineer |
| RV | Professional Engineer | 75 | Professional Engineer | 76 | Professional Engineer | 77 | Professional Engineer |
| SW | Professional Engineer | 78 | Professional Engineer | 79 | Professional Engineer | 80 | Professional Engineer |
| TE | Professional Engineer | 81 | Professional Engineer | 82 | Professional Engineer | 83 | Professional Engineer |
| TH | Professional Engineer | 84 | Professional Engineer | 85 | Professional Engineer | 86 | Professional Engineer |
| TR | Professional Engineer | 87 | Professional Engineer | 88 | Professional Engineer | 89 | Professional Engineer |
| TS | Professional Engineer | 90 | Professional Engineer | 91 | Professional Engineer | 92 | Professional Engineer |
| TU | Professional Engineer | 93 | Professional Engineer | 94 | Professional Engineer | 95 | Professional Engineer |
| TN | Professional Engineer | 96 | Professional Engineer | 97 | Professional Engineer | 98 | Professional Engineer |
| TP | Professional Engineer | 99 | Professional Engineer | 100 | Professional Engineer | 101 | Professional Engineer |

ANNOTATION SYMBOLS

| | | | |
|------------|------------|------------|------------|
| ADDITIONAL | ADDITIONAL | ADDITIONAL | ADDITIONAL |
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THE STATE OF MARYLAND
DEPARTMENT OF COMMERCE

Professional Engineer Seal

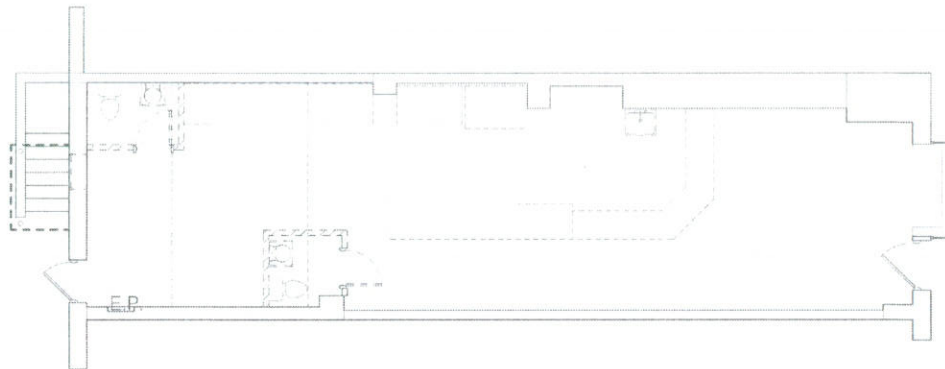
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ABBREVIATIONS, SYMBOLS & ACCESSIBILITY

Project Number: _____ Project Number: _____
 Date: _____ Author: _____
 Drawn by: _____
 Checked by: _____

C-003

SCALE



1 DEMOLITION PLAN
1/4" = 1'-0"

- NIC
- DEMOLISHED PARTITION
- EXISTING PARTITION TO REMAIN
- DEMOLISHED/RELOCATE D. DOOR AND FRAME
- EXISTING DOOR AND FRAME TO REMAIN
- EXISTING DEVICES TO BE DEMOLISHED OTHER DEVICES SHOWN SIMILARLY
- EXISTING DEVICES TO REMAIN OTHER DEVICES SHOWN SIMILARLY
- EXISTING LIGHT FIXTURE TO BE REMOVED OTHER FIXTURES SHOWN SIMILARLY
- EXISTING LIGHT FIXTURE TO REMAIN OTHER FIXTURES SHOWN SIMILARLY
- EXISTING CEILING GRID SYSTEM TO BE REMOVED
- EXISTING CEILING GRID SYSTEM TO REMAIN
- DEMOLISHED MILLWORK

NOTE:

- 1- REMOVE ALL EXISTING FURNITURE, EQUIPMENT, PARTITIONS (NONE STRUCTURAL)
- 2- EXISTING WOOD CEILING TO REMAIN
- 3- REMOVE TOP LAYER OF T.I. AND WOOD FLOORING. PREPARE FLOOR FOR NEW FLOORING MATERIAL.
- 4- PROVIDE FIRE EXTINGUISHER DURING DEMOLITION AND CONSTRUCTION PHASE.

PROJECT NO. 1000000000
 DATE: 01/11/20
 DRAWN BY: [Signature]
 CHECKED BY: [Signature]



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ISSUED FOR: [Blank] TO: [Blank]
 CHECKED BY: [Blank] ON: 01/11/20

| REV. NO. | DESCRIPTION | DATE |
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EXISTING / DEMOLITION PLAN

| Project Number | Project Name |
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| | |
| Date | Issue Date |
| | |
| Drawn by | Author |
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| Checked by | Checker |
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A101

SCALE: 1/4" = 1'-0"

DOOR SCHEDULE

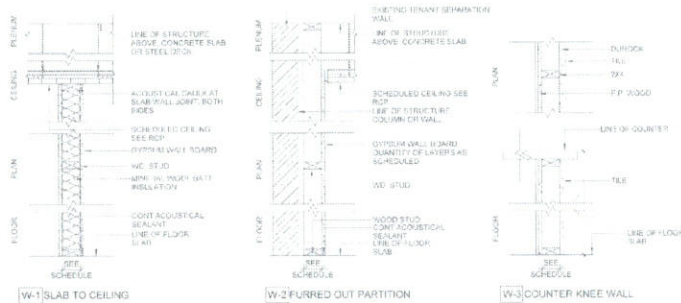
| MARK | TYPE | PREFINISHED | WIDTH | HEIGHT | THICKNESS | DOOR SYSTEM | DOOR FINISH | GLASS QUANTITY | FRAME MATERIAL | FRAME FINISH | HYDRORATED | GLASSER | COMMENTS/LOCATION |
|------|------|-------------|-------|--------|-----------|-------------|-------------|----------------|----------------|--------------|------------|---------|-----------------------------|
| D-1 | 1 | NO | 3'-2" | 8'-2" | 1-1/2" | MD | PAINT | YES | W/O | PAINT | H-1 | YES | PAINT ENTRANCE (SEE NOTE 1) |
| D-2 | 2 | NO | 3'-2" | 8'-2" | 1-1/2" | MD | PAINT | NO | M.L. | PAINT | H-2 | YES | RESTROOM |
| D-3 | 1 | NO | 3'-0" | 8'-2" | 1-1/2" | MD | PAINT | NO | W/O | PAINT | H-3 | YES | RESTROOM |

DOOR HARDWARE SCHEDULE

| MARK | ENGINEER FUNCTION | FINISH |
|------|-------------------|-----------------------------------|
| H-1 | ENGINEER FUNCTION | FINISH |
| H-2 | ENGINEER FUNCTION | LOCAL LEAD BOLT FINISH |
| H-3 | ENGINEER FUNCTION | CYLINDRICAL LEVEL LOCK SET FINISH |

GENERAL NOTES - DOOR HARDWARE

1. ALL HARDWARE SHALL BE STAINLESS STEEL UNLESS NOTED OTHERWISE.
2. HINGERS AND LOCKS SHALL BE REAR MOUNTED.
3. ALL DOORS SHALL BE SELF-CLOSING AND COMPLY WITH DC 111.1.
4. ALL DOORS SHALL BE SELF-CLOSING AND COMPLY WITH DC 111.1.
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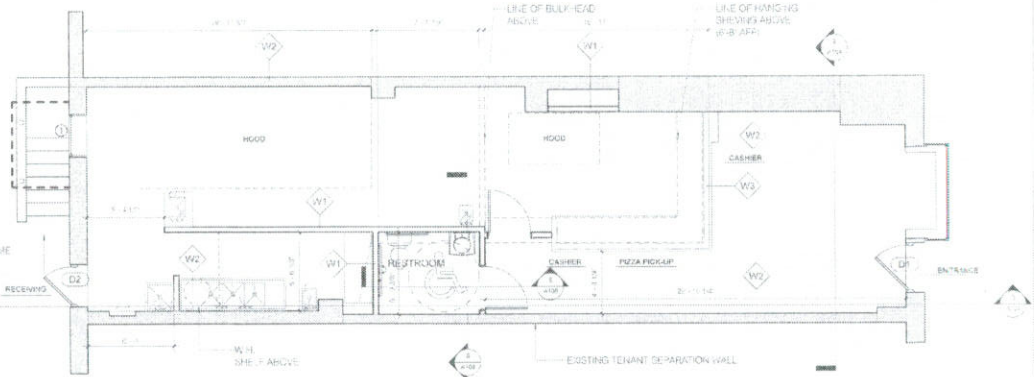


WALL TYPES SCHEDULE

| TYPE | STUD SIZE | PART. WIDTH | FIRE RATING | SIDE A, G/WB HEIGHT (EX. ROOM) | SIDE A, G/WB HEIGHT (EX. ROOM) | SIDE B, G/WB HEIGHT (EX. ROOM) | SIDE B, G/WB HEIGHT |
|------|-----------|-------------|-------------|--------------------------------|--------------------------------|--------------------------------|---------------------|
| W-1 | 3 1/2" | 4 1/2" | N/A | 1 1/2" | 9' | 1 1/2" | 12' |
| W-2 | 3 1/2" | 4" | N/A | 1 1/2" | SLAB TO SLAB | NA | NA |

NOTE: ALL WALLS IN WET ROOMS SHALL BE CONSTRUCTED OF MOISTURE RESISTANT DRYWALL TO AT LEAST 48" A.F.F. WITH BOTTOM CAULKED TO PREVENT MOISTURE INFILTRATION INTO BASE.

- NOTES:
1. GENERAL CONTRACTOR TO PROVIDE BLOCKING FOR NEW SHELVING.
 2. GENERAL CONTRACTOR TO VERIFY LOCATION OF ADJACENT TENANT WALLS AND CORRIDOR WALL WITH LANDLORD.
- ALL INSULATION MATERIAL TO COMPLY WITH DISTRICT OF COLUMBIA CONSTRUCTION CODES DCMR SECTION 2603 FOR MAXIMUM FLAME SPREAD AND SMOKE DEVELOPED RATING.



1. PROVIDE 2x3x1/2" X 3' X 1/4" STEEL ANGLE HEADER AT EXISTING BRICK MASONRY WALL TO ALLOW FOR ANCHOR BOLTS ACCESS

1 FLOOR PLAN
1/4" = 1'-0"

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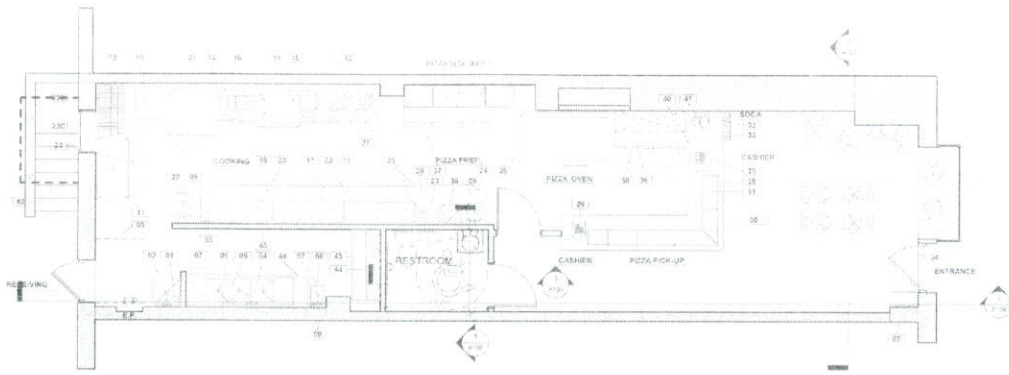
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DATE: 08/11/2020

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CONSTRUCTION PLAN, WALL TYPE & DOOR SCHEDULE

Project Number: _____
Date: _____
Checked by: _____
Issue Date: _____
Checked by: _____

SCALE: AS SHOWN



EQUIPMENT PLAN

1/4" = 1'-0"

NOTE:

1. ALL EQUIPMENT AND FURNITURE SHOWN ARE NEW UNLESS OTHERWISE INDICATED. MATERIAL DEVICES OR EQUIPMENT IS USED, THEY SHOULD BE RECONDITIONED, TESTED AND PLACED IN GOOD AND PROPER WORKING CONDITION AND APPROVED LIST OF ALL RECONDITIONED ITEMS SHOULD BE AVAILABLE TO THE LOCAL OFFICIAL DURING THE FIELD INSPECTION.
2. THERE WILL NOT BE ANY OUTDOOR SEATING (NO LINES) BY THIS PERMIT.
3. FONTAINE FIRE EXTINGUISHER TO BE PROVIDED IN ACCORDANCE WITH COMMERCIAL DISTRICT OF COLUMBIA CONSTRUCTION CODES.

HEADNOTE NOTES:

1. ALL FOOD SERVICE AND RELATED EQUIPMENT SHALL BE NATIONAL SANITATION FOUNDATION (NSF) APPROVED AND IN CONFORMITY WITH LOCAL REGULATIONS.
2. ALL FOOD SERVICE AND RELATED EQUIPMENT SHALL BE INSTALLED IN CONFORMITY WITH ALL CITY STANDARDS.
3. ALL UTILITY LINES (ELECTRICAL, PLUMBING, AND MECHANICAL VENTILATION DUCTWORK SYSTEMS) TO BE INSTALLED WITHIN ALL KITCHENS AND FOOD SERVICE AREAS, SHALL BE CONCEALED.
4. A 4" ASLE SPACE OF THIRTY-SIX (36) INCHES SHALL BE PROVIDED WITH ALL WORK AS STORAGE AREAS.
5. ALL HAND BASINS SHALL BE EQUIPPED WITH MIXING TAPETS FOR RUNNING HOT AND COLD WATER.
6. ALL REFRIGERATION EQUIPMENT AND EQUIPMENT FOR HOT STORAGE SHALL HAVE THERMOSTAT SWITCH WHICH IS EASILY READABLE, IN PROPER WORKING CONDITION, AND ACCURATE WITHIN A RANGE OF PLUS OR MINUS TWO DEGREES.
7. THE LIGHTS THROUGHOUT THE KITCHEN AND ALL FOOD SERVICES AREAS SHALL CONSIST OF RECESSED OR FLUSH SURFACE MOUNTED PLASTIC COVERED FLUORESCENT OR LED LIGHTER LOCATED AS INDICATED ON THE PLANS.
8. ALL ARTIFICIAL LIGHTING FIXTURES SHALL BE PROVIDED WITH PROTECTIVE SHIELDING IN FOOD PREPARATION, SERVICE STATION AREAS, ALL REFRIGERATION UNITS, UTENSIL AND COOLING WASHING AREAS.
9. ALL CUTTING BOARDS AND WORK SURFACES SHALL BE OF NON-POROUS CONSTRUCTION AND EASY TO SANITIZE.
10. METAL LOCKERS SHALL BE PROVIDED FOR EMPLOYEE CLOTHING STORAGE AND SHALL BE LOCATED AND LOCATED ON THE PLANS.
11. A JANITORIAL SINK WITH A THREE INCH (3) DRAIN SHALL BE INSTALLED AND LOCATED AS ON THE PLANS.
12. THE FRIGIDERS SHALL BE MECHANICALLY VENTILATED DUMPER W/ W/ATER AND SHALL PROVIDE TWO (2) CFM PER SQUARE FOOT OF FLOOR AREA. DETAILS OF SAME SHALL BE SUBMITTED TO THE DEPARTMENT OF ENVIRONMENT AND REGULATORY AFFAIRS FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.
13. Drip PANS SHALL BE PROVIDED UNDER ALL SLOWER LINES WHICH TRAVERSE THE DRINKING ROOMS OR AREAS IN WHICH THEY OCCUR.
14. THE HOT WATER HEATER FOR THE FOOD SERVICE ESTABLISHMENT SHALL BE SIZED TO THE MAXIMUM USE OF ALL PLUMBING FACILITIES UTILIZING HOT WATER.
15. TOILET ROOMS FOR MALE AND FEMALE ARE ACCESSIBLE WITHOUT GOING OUTSIDE OF THE PREMISES AND MEET ALL OF THE PROVISIONS OF THE VIRGINIA PLUMBING CODE AND LOCAL HEALTH REGULATIONS.
16. DETAILS OF "COUNTED CONSTRUCTION" THE BASE OF THE COUNTER SHALL BE CONSTRUCTED OF 2" BY 4" STUDS SPACED 16" ON CENTER TO A HEIGHT OF APPROXIMATELY 42" AND COVERED BY ALL EXPOSED SURFACES WITH PLASTIC LAMINATE. THE COUNTER TOP SHALL BE CONSTRUCTED OF 24" PLWOOD COVERED ON ALL VISIBLE SURFACES WITH PLASTIC LAMINATE.
17. THE FLOOR AND UNDERCOUNTER AREA SHALL BE EQUIPPED WITH AN AUTOMATIC DRAINAGE SYSTEM.
18. BACK FLOW PREVENTION SHALL BE INSTALLED INTO EACH HEALTH CODE.
19. ALL OUTSIDE DOORS SHALL HAVE SELF-CLOSE DEVICES.
20. ALL APPROACH OUTSIDE DOORS SHALL BE SEALED TO PREVENT ANY RODENT AND OTHER INSECTS.
21. A MIN. OF 20 FOOT CANDLES OF LIGHTING SHALL BE PROVIDED IN ALL WORK AREA, TOILETS AND STORAGE ROOMS.
22. NO RAW FOOD SURFACES SHALL REMAIN.
23. ALL PAINT SHALL BE LEAD-FREE, NON-METALIC.
24. ALL RESTROOMS TO BE FURNISHED WITH WASHABLE FLOOR, NON-ABSORBANT AND EASILY CLEANABLE.
25. MOPS AND BROOMS SHALL BE HUNG FROM AN ORGANIZER NEXT TO.
26. STORAGE OF TOYS, CLOTHING AND CLOTHES SHALL BE IN CLOSURES AND ON STEEL SHELVES.
27. ALL FLOOR MOUNTED EQUIPMENT SHALL BE PLACED ON NSF INTERNATIONAL (NSF) APPROVED 6" HIGH OR THE EQUIVALENT AND PROPERLY SPACED FROM ADJACENT EQUIPMENT OR WALLS SHALL BE PLACED ON NSF APPROVED CASTERS OR EQUIVALENT OR PROPERLY SEALED TO ALL ADJACENT SURFACES.
28. PROVIDE RODENT-PROOF CONTAINERS ON FIVED SURFACE FOR ALL REFUSES AND GREASES.
29. ALL OVERHEAD PLUMBING IN FOOD SERVICE AREAS SHALL BE IN CONFORMANCE WITH THE CODE OF MARYLAND REGULATIONS GOVERNING FOOD SERVICE FACILITIES (COMAR) 10.15.02 SECTION 03(C)(1)(E).
31. PROVIDE A COVERED BASE IN THE SERVICE AREA, KITCHEN AND RESTROOMS.
32. PROVIDE A COVERED ELEVATED STORAGE SHELVING IN ALL FOOD STORAGE AND WALK IN COOLER AREA.
33. PROVIDE AN APPROVED VACUUM BREAKER ON THE SPRAY ARM OR A MINIMUM 1/4" INCH AIR GAP MAINTAINED BETWEEN THE END OF THE SPRAY ARM AND THE FLOOR PAN OF THE SINK.
34. WASTEWATER FROM ALL APPLICABLE FOOD SERVICE EQUIPMENT SHALL BE INDIVIDUALLY PLUMBED TO AN OPEN BITE DRAIN WITH A MIN. 1" AIR GAP.
35. ALL COUNTER MOUNTED FOOD SERVICE EQUIPMENT WEIGHING IN EXCESS OF 80 POUNDS SHALL BE MOUNTED ON NSF APPROVED 4 LEGS.
36. ALL ANNUAL AIR OPERATIONS IN CONSTRUCTION SHALL BE SEALED TO WITHIN 1/32 OF AN INCH.
37. THERE WILL BE FIVE OR FEWER EMPLOYEES ON DUTY AT ANY ONE TIME.
38. AN ADEQUATE AMOUNT OF APPROVED REFRIGERATOR AND FREEZER UNITS SHALL BE PROVIDED FOR THE SHORT TERM AND LONG TERM STORAGE OF REFRIGERATED AND FROZEN FOOD PRODUCTS.

EQUIPMENT SCHEDULE

| ITEM | MARKET | MODEL |
|------|---|-------------------------------------|
| 01 | WALL SHELF W/ MOP HANGERS | EAGLE GROUP 4800-16-3 |
| 02 | MOP SINK | ITALY 4800-16-3 |
| 03 | OVER STORAGE SHELVING | METRO 14-11 |
| 04 | WALL SHELF | EAGLE GROUP 4800-16-3 |
| 05 | STAINLESS STEEL WALL SHELVING | EAGLE GROUP 4800-16-3 |
| 06 | 3-COMPARTMENT POT SINK | EAGLE GROUP 4800-16-3 |
| 07 | FRASH RECEPTACLE | Hubert International Food 4800-16-3 |
| 08 | HAND SINK | EAGLE GROUP 4800-16-3 |
| 09 | SOAP AND PAPER TOWEL DISPENSERS | EAGLE GROUP 4800-16-3 |
| 10 | WORKTABLE W/ UNDERSHELF, BACKSPASH | Star 4800-16-3 |
| 11 | 2-DOOR REFRIGERATOR, MOBILE | Call on the Restaurant 4800-16-3 |
| 12 | STAINLESS STEEL WALL PANELS | Call on the Restaurant 4800-16-3 |
| 13 | 16 BURNER RANGE W/ OPEN BASE, MOBILE | Call on the Restaurant 4800-16-3 |
| 14 | EQUIPMENT STAND, MOBILE | STAR 4800-16-3 |
| 15 | COUNTER GRIDOLE | STAR 4800-16-3 |
| 16 | FRYERS, MOBILE | Call on the Restaurant 4800-16-3 |
| 17 | MEGA TOP SANDWICH UNIT | Call on the Restaurant 4800-16-3 |
| 18 | MEGA TOP SANDWICH UNIT | Call on the Restaurant 4800-16-3 |
| 19 | MEGA TOP SANDWICH UNIT | Call on the Restaurant 4800-16-3 |
| 20 | WORKTABLE W/ HAND SINK, OPEN BASE | EAGLE GROUP 4800-16-3 |
| 21 | DOUBLE DECK CONNECTION OVER, MOBILE | Call on the Restaurant 4800-16-3 |
| 22 | EXHAUST HOOD W/ MAKE-UP AIR | Call on the Restaurant 4800-16-3 |
| 23 | SUPPLY FAN | Call on the Restaurant 4800-16-3 |
| 24 | EXHAUST FAN | Call on the Restaurant 4800-16-3 |
| 25 | CONTROL PANEL | Call on the Restaurant 4800-16-3 |
| 26 | FIRE SUPPRESSION SYSTEM | Call on the Restaurant 4800-16-3 |
| 27 | WALL SHELVES | EAGLE GROUP 4800-16-3 |
| 28 | PIZZA PREP UNIT | Call on the Restaurant 4800-16-3 |
| 29 | DOUBLE DECK PIZZA OVEN, MOBILE | Call on the Restaurant 4800-16-3 |
| 30 | CASH REGISTER | EAGLE GROUP 4800-16-3 |
| 31 | WORKTABLE W/ UNDERSHELF, MOBILE | EAGLE GROUP 4800-16-3 |
| 32 | WORKTABLE W/ HAND SINK, UNDERSHELF | EAGLE GROUP 4800-16-3 |
| 33 | FRONT SERVICE COUNTER (MILLWORK) | EAGLE GROUP 4800-16-3 |
| 34 | 3-FEET SNOW GUARD | ISAG 4800-16-3 |
| 35 | OVERHEAD STORAGE SHELF (MILLWORK W/ WALL TO WALL) | Call on the Restaurant 4800-16-3 |
| 36 | SHEED SODA AND ICE DISPENSER | Call on the Restaurant 4800-16-3 |
| 37 | ICE CUBER (MOUNT ON TOP OF SODA DISPENSER) | Call on the Restaurant 4800-16-3 |
| 38 | AIR CURTAIN, WALL MOUNTED | Call on the Restaurant 4800-16-3 |
| 39 | PRINTERS | Call on the Restaurant 4800-16-3 |
| 40 | MICROWAVE OVEN | Call on the Restaurant 4800-16-3 |
| 41 | PIZZA BOY SHELF | EAGLE GROUP 4800-16-3 |
| 42 | PIZZA BOY SHELF | EAGLE GROUP 4800-16-3 |
| 43 | SOBA BAG-A-BOX RACK | EAGLE GROUP 4800-16-3 |
| 44 | CARBONATOR | EAGLE GROUP 4800-16-3 |
| 45 | BULK COFFEE/CO2 TANK | EAGLE GROUP 4800-16-3 |
| 46 | WORKTABLE W/ UNDERSHELF | EAGLE GROUP 4800-16-3 |
| 47 | WALL SHELF | EAGLE GROUP 4800-16-3 |
| 48 | FAST-FRY SHELF | EAGLE GROUP 4800-16-3 |
| 49 | UNDERCOUNTER DISHWASHER | Call on the Restaurant 4800-16-3 |

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 CONSULTANT
 MCA CONSULTANT



ISSUE

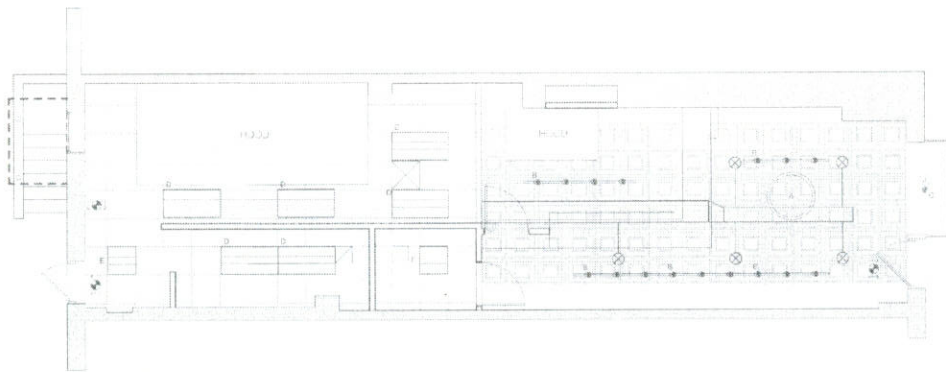
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EQUIPMENT PLAN

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A103

SCALE: 1/4" = 1'-0"

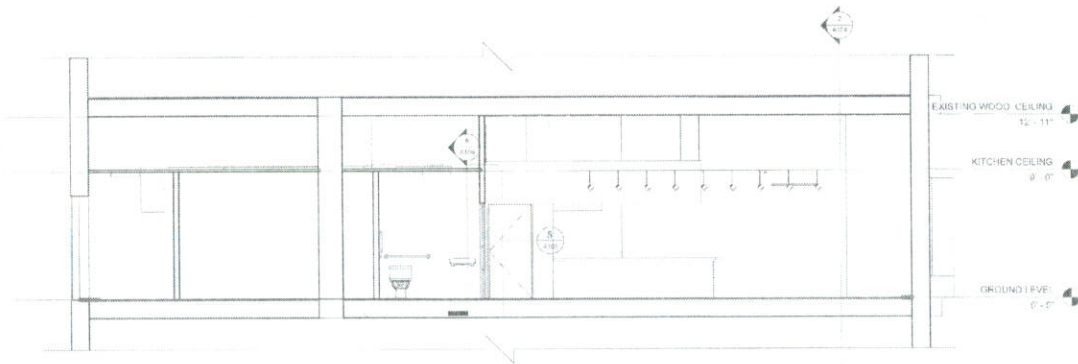


1 REFLECTED CEILING PLAN
1/4" = 1'-0"

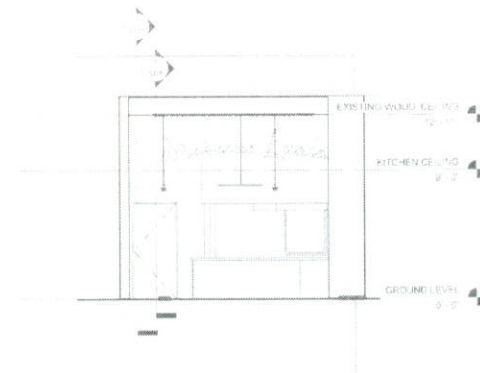


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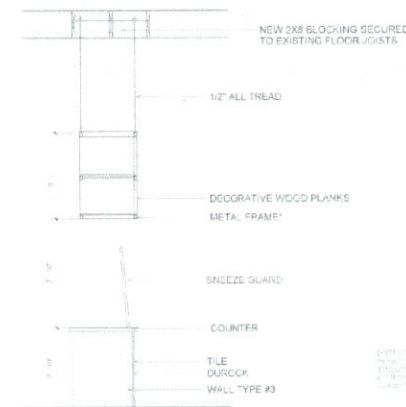
1. PROVIDE WASHABLE CEILING TILES IN KITCHEN AREA.
2. COORDINATE TIE WORK WITH MECHANICAL AND ELECTRICAL PLANS.
3. COORDINATE ALL SWAP/UP WORK WITH OTHER DEPT DISBURSES.
4. DIMENSIONS SHOWN ON DRAWINGS HAVE PRIORITY.
5. ALL FIXINGS TO COMPLY WITH ASTM C 833 & ASTM C 636.



3 SECTION 2
1/4" = 1'-0"



2 SECTION 1
1/4" = 1'-0"



* PROVIDE SHOP DRAWINGS OF COUNTER AND SHELVING FRAME BY STRUCTURE ENGINEER FOR APPROVAL PRIOR TO CONSTRUCTION.

4 COUNTER SECTION
1/2" = 1'-0"



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TEL: 202-341-0000
MFC-ENGINEERING.COM



I am hereby certifying that the design and construction of the mechanical system shown on these drawings was prepared by me or under my direct supervision and that I am a duly licensed Professional Engineer in the State of Maryland.

SECTION 11-4047
DATE 10/11/11

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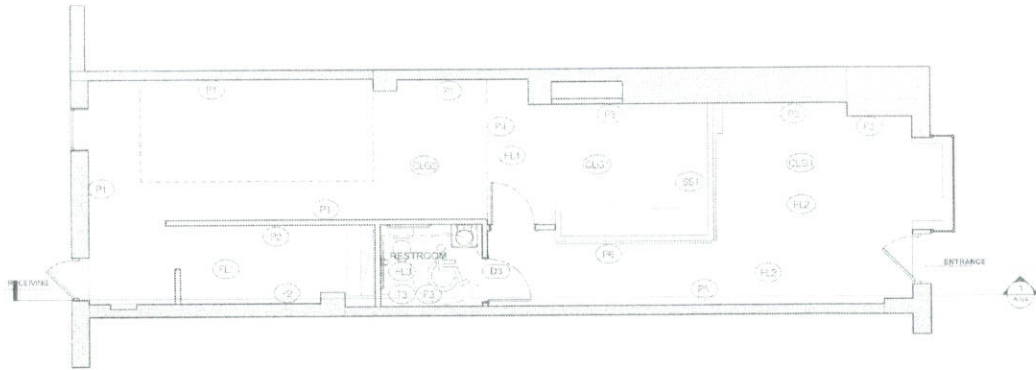
REFLECTED CEILING PLAN & SECTIONS

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A104

SCALE 1/4" = 1'-0"

- NOT FOR CONSTRUCTION.



1 FINISHING PLAN AND SCHEDULE

1/4" = 1'-0"

SCHEDULE - FINISHES

| TAG | MATERIAL | MANUFACTURER | MODEL NO. | COLOR | GRID/PATTERN | MANUFACTURER'S LOCATION | COMMENTS |
|------|--------------------|--------------|-----------|-------|--------------|-------------------------|----------|
| P01 | BRONZE WOODS BLUNT | | | | | | |
| P02 | BRONZE BLUNT | | | | | | |
| P03 | 1/2" TYPED BRASS | | | | | | |
| P04 | ENGLAND WOOD | | | | | | |
| P05 | GRANITE TILE | | | | | | |
| P06 | GRANITE BLUNT | | | | | | |
| P07 | NET PANELS | | | | | | |
| P08 | UPPER WALLS | | | | | | |
| P09 | BEAD-BLOCK BRICK | | | | | | |
| P10 | UPPER WALLS | | | | | | |
| P11 | BEAD-BLOCK BRICK | | | | | | |
| P12 | BEAD-BLOCK BRICK | | | | | | |
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| P99 | BEAD-BLOCK BRICK | | | | | | |
| P100 | BEAD-BLOCK BRICK | | | | | | |

GENERAL NOTES - FINISH - 2012 IBC

1. ALL INTERIOR MATERIALS INCLUDING CEILING TILES, FINISHES, FLOORING AND ADHESIVES MUST MEET THE PERFORMANCE REQUIREMENTS AND OTHER TESTING REQUIREMENTS OF 2012 IBC SECTION 905 AND 909 AND SECTION 901.
2. FINISHES AND MATERIALS FOR ALL INTERIOR FINISHES IS TO BE THE CLASS REQUIRED FOR THE PARTICULAR AREA AND ARE LISTED IN THE SCHEDULE.
3. FOR CONSTRUCTION TYPE AND R-VALUE COMBUSTIBLE MATERIALS ARE ALLOWED UNDER 2012 IBC SECTION 905.1.
4. PATCH ALL OPENINGS THAT REMAIN IN ALL PARTITIONS FROM EITHER DEMOLITION OR CURRENT SCOMS OF WORK TO MATCH EXISTING SURFACE FINISH.
5. GENERAL CONTRACTOR TO REPAIR ANY DAMAGE & PREPARE EXISTING PARTITIONS AS REQUIRED TO RECEIVE NEW SPECIFIED FINISHES.
6. AFTER REMOVAL OF EXISTING BASE, CONTRACTOR TO PREPARE EXISTING WALLS AS REQUIRED TO RECEIVE NEW SPECIFIED FINISHES.
7. ALL MATERIALS SHALL BE APPLIED IN ACCORDANCE WITH MANUFACTURER'S REQUIREMENTS AND SPECIFICATIONS. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR FAMILIARIZING HIMSELF WITH THE MANUFACTURER'S REQUIREMENTS FOR THE APPLICATION OF EACH FINISH. THE GENERAL CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCY AFTER THE MANUFACTURER'S REQUIREMENTS AND THE CONSTRUCTION DOCUMENT REQUIREMENTS PRIOR TO BIDDING SUBMITTALS.
8. FOR FINISH DESCRIPTIONS AND SPECIFICATIONS REFER TO THE FINISH SCHEDULE.
9. ALL RELATED DOOR FRAMES AND HARDWARE TO BE OPEN AND REPAIRED TO LIFE NEW CONDITION.
10. CEILING AND ASSOCIATED EXPOSED HVAC UNITS TO BE OPEN AND REPAIRED TO LIFE NEW CONDITION.
11. DOOR WALL, CEILING, FLOOR AND DOOR TO BE PAINTED.
12. ALL FLOOR TRANSITIONS ARE TO OCCUR AT THE CENTERLINE OF THE DOOR IN THE CLOSED POSITION, UNLESS NOTED OTHERWISE.
13. ALL SURFACES OR ELEMENTS THAT ARE SPECIFIED TO RECEIVE PAINT ARE TO HAVE A MINIMUM OF (1) PRIME COAT, (2) FINISH COATS, UNLESS NOTED OTHERWISE. FOR PARTICULARLY DEEP OR DARK PAINT COLORS, THE ARCHITECT MAY DIRECT THE SUBCONTRACTOR TO APPLY ADDITIONAL PRIME COATS TO PROVIDE A CONSISTENT FINISH IN THE FIELD. SUCH APPLICATION SHALL BE AN ADDITIONAL COST TO THE TENANT, LANDLORD, OR ARCHITECT, AND SHALL BE DONE REQUIRED AT THE ARCHITECT'S SOLE DISCRETION.
14. GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL SUBMIT PAINTING SAMPLES TO ARCHITECT FOR APPROVAL PRIOR TO APPLICATION. SUBCONTRACTOR SHALL ALSO PROVIDE SAMPLES ON FINISH WALLS OR ON OTHER WALL SURFACES OF A MINIMUM SIZE OF 100" OF EACH PAINT COLOR IN THE FIELD FOR APPROVAL. FINAL PAINT SELECTION IS SUBJECT TO ADJUSTMENT OR CHANGE ON SITE.
15. IN A POSITION OTHER THAN WALLS TO BE FINISHED, FINISH EACH PAINT SHALL BE REFERRED TO THE MATERIAL'S TECHNICAL LITERATURE FOR APPLICATION. THE DESIGNER PRIOR TO COMMENCEMENT OF WORK.
16. ALL PAINT GRAFIC DOORS, DOOR FRAMES AND PAINTED TRIM TO BE SEMI-GLOSS FINISH TO MATCH ADJACENT WALL, UNLESS NOTED OTHERWISE.
17. UNLESS NOTED OTHERWISE, ALL EXPOSED EXISTING OR NEW REGISTER, CONVERTER UNITS, HEAT PUMPS, CHILLED WATER OTHER FITTINGS TO BE PAINTED IN SEMI-GLOSS PAINT TO MATCH ADJACENT FINISH.
18. ALL FABRIC COVERINGS TO HAVE APPROPRIATE BACKING FOR APPLICATION.
19. ALUMINUM WALL COVERING STOP (CORNER BEZEL) OR APPROVED EQUAL SHALL BE USED AT ALL OUTLETS, CORNERS WHERE A TRANSITION OR CHANGE OCCURS IN EITHER WALL COVERING MATERIAL OR COLOR.

DESIGNED BY: [Signature]
 DRAWN BY: [Signature]
 DATE: 11/11/11
 SCALE: AS SHOWN

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FINISHING PLAN AND SCHEDULE

| Project number | Project Number |
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| Drawn By | Author |
| Checked by | Checker |

A105

SCALE: 1/4" = 1'-0"